

PLANNING COMMITTEE REPORT

Development Management Service
Planning and Development Division
Environment and Regeneration Department
PO Box 333
222 Upper Street
LONDON N1 1YA

PLANNING SUB COMMITTEE B		AGENDA ITEM NO:
Application number	P2015/3626/FULL & P2015/3674/LBC	
Application type	Full Planning Application	
Ward	St Peter's	
Listed building	Grade II Listed	
Conservation area	Arlington Square Conservation area	
Development Plan Context	Article 4(2)	
Licensing Implications	None	
Site Address	37 Arlington Square, London N1 7DP	
Proposal	The enlargement of the existing single storey rear extension at basement level and reconfiguration of the patio and minor internal alterations.	
Case Officer	Ashley Niman	
Applicant	Charles Cann	
Agent	Roger Mears Architects	

2. RECOMMENDATION

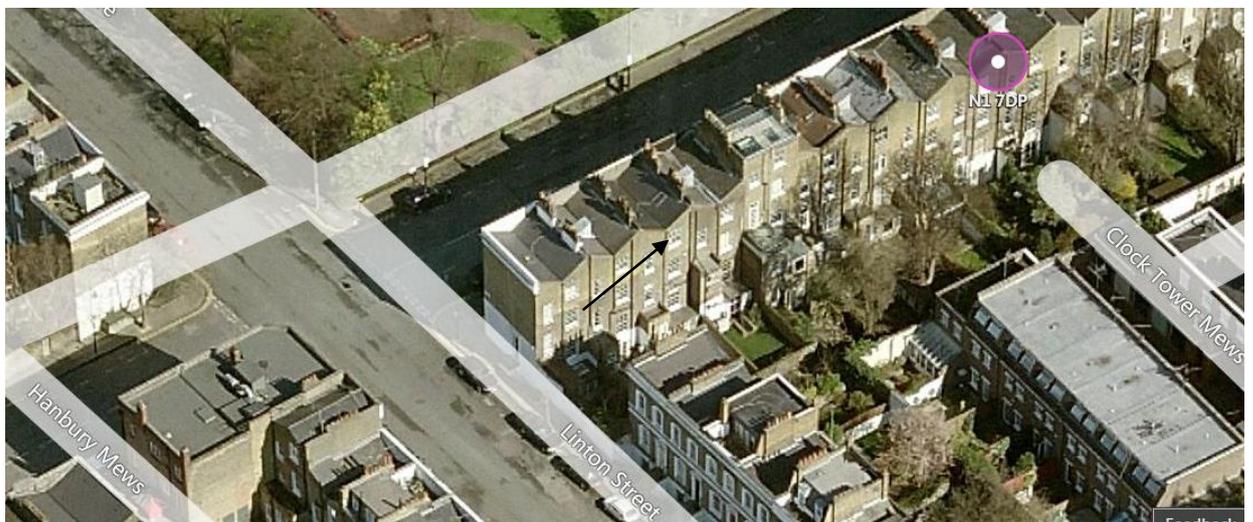
The Committee is asked to resolve to **GRANT** planning permission and listed building consent:

1. subject to the conditions set out in Appendix 1.

3. **SITE PLAN (site outlined in red)**



4. **AERIAL PHOTOGRAPH AND VISUALISATION OF THE SITE/STREET**





EXISTING REAR ELEVATION

5. SUMMARY

- 5.1 The scale, height and form of the new lower ground floor rear extension is acceptable and will not harm the appearance and character of the property or the wider terrace and conservation area.
- 5.2 The scale, height and form of the new lower ground floor rear extension, and other minor alterations, is acceptable and will not harm the appearance and character of the Grade II listed building and its setting.
- 5.3 The works will have no material effect on the sustainability of the rear garden, drainage or existing trees and planting.
- 5.4 The extension will have no material effect on the light, outlook or privacy of neighbours, nor harm their amenities generally.
- 5.5 This application is before members of Sub Committee for decision at the request of Cllr Klute.

6. SITE AND SURROUNDING

- 6.1 The property is a three storey mid terrace early Victorian single dwelling house. The building is listed Grade II and is located in the Arlington Square Conservation Area
- 6.2 The surrounding area is entirely residential in land use and character, composed primarily of three storey early Victorian terraces and broad streets.

7. PROPOSAL (IN DETAIL)

- 7.1 The enlargement of the existing single storey part width rear extension at lower ground floor level, and reconfiguration of the patio to provide two stepped planters up to garden level.
- 7.2 The extension will be fully glazed and frameless to the rear, with a glass roof and lead margins. The roof will pitch slightly from front to rear, with a drainage channel at lower ground floor level.
- 7.3 Internal alterations are proposed at first and second floor level. At first floor level the plans propose to strip out fitting and finishes in the bathroom at the rear to convert it to a bedroom. At second floor level it is proposed to convert the rear bedroom into a master bedroom with new sanitary ware, connection of waste pipes to the rear and alterations and relocation of the existing hot water cylinder and boiler.

8. RELEVANT HISTORY:

- 8.1 P031418/P031463 Refurbishment of existing rear extensions including the excavation of basement floor level to enable access to rear garden by replacing existing window with French doors. Gate to be inserted within front railings and installation of external stair within front lightwell. Insertion of two roof lights within main roof. Approved 08/12/2003.

ENFORCEMENT:

- 8.2 None

PRE-APPLICATION ADVICE:

- 8.3 Q2015/1343 Pre application advice for 'The enlargement of the existing single storey rear extension at basement level and reconfiguration of the patio'. The advice taken is reflected in the submitted proposal.

9. CONSULTATION

Public Consultation

- 9.1 Letters were sent to occupants of 13 adjoining and nearby properties at Arlington Square, Clock Tower Mews and Linton Street. A site notice and press notice were displayed on 18th September 2015. The public consultation of the application therefore expired on 15th October 2015.
- 9.2 No response was been received from the public with regard to the application.

External Consultees

- 9.3 None

Internal Consultees

- 9.4 Design and Conservation: No objection subject to conditions.

10. RELEVANT POLICIES

Details of all relevant policies and guidance notes are attached in Appendix 2. This report considers the proposal against the following development plan documents

National Guidance

- 10.1 The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.
- 10.2 Since March 2014 Planning Practice Guidance for England has been published online.

Development Plan

- 10.3 The Development Plan is comprised of the London Plan 2015 (Consolidated with Alterations since 2011), Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The policies of the Development Plan that are considered relevant to this application are listed at Appendix 2 to this report.

Designations

- 10.4 The site has the following designations under the London Plan 2015, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

Arlington Square Conservation Area
Grade II listed

Article 4(2) Arlington Square

Supplementary Planning Guidance (SPG) / Document (SPD)

10.5 The SPGs and/or SPDs which are considered relevant are listed in Appendix 2.

11. ASSESSMENT

11.1 The main issues arising from this proposal relate to:

- Land Use
- Design, Conservation and Listed Building considerations
- Sustainability
- Neighbouring Amenity

Land-use

The site is in residential use and as the proposal is an extension for the householder, no new land use issues arise.

Design, Conservation and Listed Building Considerations

11.2 External Works: The existing part width extension at rear lower ground floor is 2.2 metres deep. The roof is flat and covered with asphalt. The proposal will extend in depth by a further 1.0 metre to facilitate a larger kitchen space for the dwelling. The proposed extension proposes new rear doors opening onto the existing garden.

11.3 The proposed extension is constructed with a frameless glass and lead roof and double glazed bi-folding doors. The existing patio decking is removed and the existing garden retaining wall would be set back 0.6 metres with the replacement of the existing steep vertical wall being replaced by stepped brick planters. .

11.4 The proposed part width single storey rear extension at lower ground floor is acceptable, as it will be subservient and modest extension to the main building and detailed in a way that does not detract from the original design

11.5 Internal Works: The creation of a bathroom to the 2nd floor rear room is acceptable as long as the attached conditions are met which ensure the original layout of the room is retained at cornice level. The works are considered to be acceptable and sensitive and will not harm the fabric or architectural integrity of the host listed building.

Neighbouring Amenity

11.6 Daylight and overshadowing: The extension will only extend rearwards a further one metre, but the new roof will be set lower and the slope will be pitched downwards. There will therefore be no material impact on light to the adjacent property at 36 Arlington Square.

Overlooking, privacy and sense of enclosure: There will be no overlooking to habitable rooms of any adjacent property. The alignment, height and scale of the proposal will ensure that no adjacent property will experience a sense of enclosure or material loss of outlook.

Sustainability and Landscaping

- 11.7 The Council's relevant document is the draft SPD on Basement Development Design (July 2015). This application does not propose a basement, since there is no new or additional floorspace proposed under the ground level, but the draft document provides guidance on sustainable drainage, water conservation, and sustainable material sourcing, all relevant to the application.
- 11.8 Work to basements is allowed out to a distance of 3.0 metres from the main rear wall of the property, and although the planters extend further, the garden disruption is slight. Moreover, there has to be a design mechanism to gain access to the higher rear garden level, and the tier of planters is the most sympathetic.
- 11.9 The work will not alter the prevailing garden level, but push the retaining wall back by 0.5 metres and then provide two levels of stepped planters. There will be no material loss of garden space and disruption will be minimal.
- 11.10 The proposed extension is a lower ground floor extension to an existing lower ground floor of the dwelling with minimal removal some soil from the rear garden area. There is no significant excavation works proposed within this application.
- 11.11 The proposal will have no effect on trees, with no TPO trees on the site or immediately adjacent to the site. The closest TPO tree is in the rear garden of 34 Arlington Square.

12. CONCLUSION

Conclusion

- 12.1 It is recommended that planning permission and listed building consent be granted subject to conditions for the reasons and details as set out in Appendix 1 - RECOMMENDATIONS.

APPENDIX 1 – RECOMMENDATIONS

RECOMMENDATION A

That the grant of planning permission be subject to **conditions** to secure the following:

List of Conditions for P2015/3626/FUL:

1	Commencement 3 YEAR CONSENT PERIOD: The development hereby permitted shall be begun not later than the expiration of three years from the date of this permission. REASON: To comply with the provisions of Section 91(1)(a) of the Town and Country Planning Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).
2	Approved plans list DRAWING AND DOCUMENT NUMBERS: The development hereby approved shall be carried out in accordance with the following approved plans, Location plan, 00C, 01B, 02B, 03B, 04, 05B, 06B, 07B, 11E, 12C, 13C, 14, 15B, 16C, 17C, Heritage, Design and Access Statement RevA (Roger Mears Architects) REASON: To comply with Section 70(1)(a) of the Town and Country Act 1990 as amended and also for the avoidance of doubt and in the interest of proper planning
3	Materials CONDITION: Details and samples of all facing materials shall be submitted to and approved in writing by the Local Planning Authority prior to any superstructure work commencing on site. The details and samples shall include: a) Details and samples of all facing brickwork b) Samples of all facing render including colour b) Details of window and door treatment (including sections and reveals); c) Details and samples of screening The development shall be carried out strictly in accordance with the details so approved and shall be maintained as such thereafter. REASON: In the interest of securing sustainable development and to ensure that the resulting appearance and construction of the development is of a high standard

List of Informatives:

1	Positive Statement
	<p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged.</p> <p>Pre-application discussions were entered into and the policy advice and guidance available on the website was followed by the applicant.</p> <p>The applicant therefore worked in a proactive manner taking into consideration the policies and guidance available to them, and therefore the LPA delivered a positive decision in accordance with the requirements of the NPPF.</p>

List of Conditions for P2015/3674/LBC:

1	Commencement
	<p>3 YEAR CONSENT PERIOD FOR LBC: The works hereby permitted shall be begun not later than three years from the date of this consent.</p> <p>REASON: To comply with the provisions of Section 18(1)(a) of the Planning (Listed Buildings and Conservation Areas) Act 1990 as amended by the Planning and Compulsory Purchase Act 2004 (Chapter 5).</p>
2	Material to Match (Compliance)
	<p>MATERIALS TO MATCH (COMPLIANCE): The facing materials of the extension hereby approved shall match the existing building in terms of colour, texture, appearance and architectural detailing and shall be maintained as such thereafter.</p> <p>REASON: To ensure that the appearance of the building is acceptable.</p>
3	Garden level
	<p>CONDITION: Notwithstanding the plans hereby approved the garden level that is not excavated shall remain at the same level.</p> <p>REASON: In order to deliver sustainable design and to safeguard the special architectural or historic interest of the heritage asset.</p>
4	Down pipes
	<p>CONDITION: Notwithstanding the plans hereby approved any new sections of down pipes shall be in iron with 'period' brackets hand painted in black.</p> <p>REASON: In order to deliver sustainable design and to safeguard the special architectural or historic interest of the heritage asset.</p>

5	Vent brick
	<p>CONDITION: Notwithstanding the plans hereby approved, the vent shall either be a vent brick to match existing or a cast iron period vent painted black.</p> <p>REASON: In order to deliver sustainable design and to safeguard the special architectural or historic interest of the heritage asset.</p>
6	Chimney breast
	<p>CONDITION: Notwithstanding the plans hereby approved the panel covering the chimney breast to support the sanitary wear shall not be full height so that the original form of the room is visible at high level.</p> <p>REASON: In order to deliver sustainable design and to safeguard the special architectural or historic interest of the heritage asset.</p>

List of Informatives:

1	Positive Statement
	<p>To assist applicants in a positive manner, the Local Planning Authority has produced policies and written guidance, all of which is available on the Council's website.</p> <p>A pre-application advice service is also offered and encouraged.</p> <p>Pre-application discussions were entered into and the policy advice and guidance available on the website was followed by the applicant.</p> <p>The applicant therefore worked in a proactive manner taking into consideration the policies and guidance available to them, and therefore the LPA delivered a positive decision in accordance with the requirements of the NPPF.</p>

APPENDIX 2: RELEVANT POLICIES

This appendix lists all relevant development plan policies and guidance notes pertinent to the determination of this planning application.

1 National Guidance

The National Planning Policy Framework 2012 seeks to secure positive growth in a way that effectively balances economic, environmental and social progress for this and future generations. The NPPF is a material consideration and has been taken into account as part of the assessment of these proposals.

Since March 2014 Planning Practice Guidance for England has been published online.

2. Development Plan

The Development Plan is comprised of the London Plan 2015, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013. The following policies of the Development Plan are considered relevant to this application:

A) The London Plan 2015 - Spatial Development Strategy for Greater London, Consolidated with Alterations since 2011

1 Context and strategy

Policy 1.1 Delivering the strategic vision and objectives for London

7 London's living places and spaces

Policy 7.4 Local character
Policy 7.6 Architecture

5 London's response to climate change

Policy 5.3 Sustainable design and construction

Policy 5.13 Sustainable drainage

B) Islington Core Strategy 2011

Spatial Strategy

Policy CS8 (Enhancing Islington's Character)

Strategic Policies

Policy CS9 (Protecting and Enhancing Islington's Built and Historic Environment)

Policy CS10 (Sustainable Design)

C) Development Management Policies June 2013

Design and Heritage

DM2.1 Design

DM2.3 Heritage

Health and Open Spaces

DM6.5 Landscaping, trees and biodiversity.

Energy and Environmental Standards

DM7.1 Sustainable design and construction statements

DM7.4 Sustainable design standards

5. Designations

The site has the following designations under the London Plan 2015, Islington Core Strategy 2011, Development Management Policies 2013, Finsbury Local Plan 2013 and Site Allocations 2013:

- Arlington Square Conservation Area
- Article 4(2)

6. Supplementary Planning Guidance (SPG) / Document (SPD)

The following SPGs and/or SPDs are relevant:

Islington Local Plan

- Islington Urban Design Guide
- Conservation Design Guidelines
- Basement Development (Draft)

London Plan

- Sustainable Design & Construction